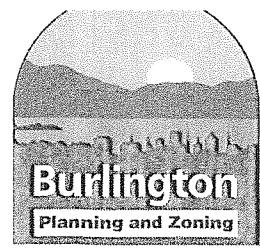


Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
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Nic Anderson, Zoning Clerk
Elsie Tillotson, Department Secretary



MEMORANDUM

To: Development Review Board
From: Mary O'Neil, Associate Planner
Date: July 5, 2011
RE: ZP 11-0086 CA/MA, 323-325 College Street

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: 11-0086 CA/MA

Location: 323-325 College Street

Zone: RH **Ward:** 2

Date application accepted: June 2, 2011

Applicant/ Owner: 323 College Street Partnership

Request: Amendment to original approval issued November 3, 2010; specifically site plan revisions, new access road, revised parking layout and substantially upgraded stormwater retention infrastructure.

Background:

- Zoning Permit 11-0086 CA/MA; Construct an attached building addition with 8 new dwelling units; convert the existing 5 unit unit building to a single unit with attached laundry/storage area; a net total of 9 dwelling units. (Re-arrangement of the number of units between buildings: 1 to be located in the existing structure; 8 in the new structure.) Demolish existing garage, expand parking area. Approved November, 2010.
- Zoning Permit 04-496; Move existing fence and install children's play equipment. Approved April 2004.
- Zoning Permit 03-170; Installation of fenced enclosure, 4' high green vinyl chain link. Approved, October 2002.
- Zoning Permit 83-123; Erect a 4' chain link fence along 75' of eastern property line and 125' along property line and 84' along northern property line. Approved April 1983.
- Zoning Permit 80-962; New doors, installation of a window where there was a door. Interior work. Approved May 1980.
- Zoning Permit 79-146; Install 70' of 4' chain link fencing. Approved May 1979.
- ZBA request to convert a three apartment house to five apartments; Approved November 1972.

Overview: 323-325 College Street was built c. 1830 for Chaune Goodrich, a Burlington publisher and bookbinder. The structure is listed on the National Register of Historic Places within the **Main Street College Street Historic District**. The owner/applicant wishes to modify the originally approved plan, lead in part by installation of a highly engineered stormwater retention system. This application for an amendment includes retention of a secondary access that was installed for the construction period, and re-arranged parking.

Recommendation: Approval, per the following findings and conditions:

I. Findings

Article 4: Maps and Districts

Sec. 4.4.5 Residential Districts

(b) Dimensional Standards and Density

Table 4.4.5-2 Base Residential Density

No change.

Table 4.4.5-3 Residential Dimensional Standards

Zoning District	Max. Lot Coverage	Setbacks			Maximum Height
		Front	Side	Rear	
RH	80%	Ave. of 2 adjacent lots on both sides +/- 5'	10% of lot width, not less than 5'.	25% of lot depth, not less than 20'	35'
Proposed	66.9% with proposed new access road	No change to original approval.	No change to structural setbacks. Expanded parking areas and access drive to meet min. 5' setback.	New parking areas to meet min. 5' setback.	Not applicable.

Affirmative finding.

Article 6: Development Review Standards

PART 2: SITE PLAN DESIGN STANDARDS

Sec. 6.2.2 Review Standards

(a) Protection of Important Natural Features:

There is a substantial lawn west of the existing structure, which is proposed for a substantially beefier stormwater treatment area and lawn. The applicant has chosen to remove a proposed retaining wall on the extreme west of the parcel. **Affirmative finding.**

(b) Topographical Alterations:

The existing lawn slopes gradually to the west, providing an open area for this development. The development plan exercises the grade change to "sink" the basement into the site, while accommodating a walk-out street front provision. The applicant has provided a professionally prepared sediment and erosion control plan to meet Chapter 26 provisions of the ordinance.

Affirmative finding.

(c) Protection of Important Public Views:

This is a private parcel, where there are no publically accessible views. New residents, however, may have the opportunity to enjoy westerly views toward Lake Champlain.

Not applicable.

(d) Protection of Important Cultural Resources:

Burlington's architectural and cultural heritage shall be protected through sensitive and respectful redevelopment, rehabilitation, and infill. Archeological sites likely to yield information important to the city's or the region's pre-history or history shall be evaluated, documented, and avoided whenever feasible. Where the proposed development involves sites listed or eligible for listing on a state or national register of historic places, the applicant shall meet the applicable development and design standards pursuant to Sec. 5.4.8(b).

See Sec. 5.4.8 below.

(e) Supporting the Use of Renewable Energy Resources:

No part of this application will preclude an opportunity to use direct sunlight, wind, or water. Significant landscaping has been approved in the original plan for the southerly boundary to screen headlight glare as well as to provide shade for the parking lot area. A revised shading plan assures compliance with required shading for the proposed expanded parking area.

Affirmative finding.

Buildings should, where appropriate within the context of the neighborhood development pattern, maximize their solar exposure by being oriented to maximize natural light and heat gain during winter months, and to minimize casting shadows into ground floor living space of a building on an adjacent property.

No change to approved building plans. **Not applicable.**

(f) Brownfield Sites:

None identified.

(g) Provide for nature's events:

This amendment is a response to the applicant's desire to strengthen the stormwater treatment and retention portion of the project. Two 35" underground pipes have been added to the network of catch basins to more effectively handle the substantial amount of water that comes onto this property.

Affirmative finding.

(h) Building Location and Orientation:

The introduction of new buildings and additions shall maintain the existing development pattern and rhythm of structures along the existing streetscape. New buildings and additions should be aligned with the front façade of neighboring buildings to reinforce the existing "street-edge," or where necessary, located in such a way that complements existing natural features and landscapes.

Not applicable.

(i) Vehicular Access:

The existing driveway is proposed for continued use. No increase in the level of non-conformity may be permitted (relative to encroachment into the required minimum setback.) The original driveway is proposed to maintain its existing alignment, running along the easterly property line to an enlarged rear parking area. This amendment seeks to continue to utilize a construction access

along the westerly portion of the property; allowing circulation for vehicles and better access for emergency personnel. It is understood that the fire marshal favors the secondary access and proposed circulation pattern. **Affirmative finding.**

(j) Pedestrian Access:

Pedestrian walkways will continue to be provided.

Affirmative finding.

(k) Accessibility for the Handicapped:

An accessible unit is proposed for the rear/south elevation; the handicap access has been moved to the central connector. A h/c parking space with identifying signage is noted on the amended site plan.

Affirmative finding.

(l) Parking and Circulation:

The previously approved parking area had 5 parallel parking spaces on the east boundary and 13 other parking spaces in the rear (one h/c.) This amended application requests 23 parking spaces for the 9 residential units, which meets the 125% maximum allowable per Section 8 of the ordinance (see below.)

The proposed continuation of the access around the parcel will provide for a continuous flow and ease of maneuvering for emergency vehicles.

Affirmative finding as conditioned.

Parking areas greater than 720sf (4 parking spaces) shall include shade trees of a minimum caliper size of 2.5"-3" and canopies sufficient to shade a minimum of 30% of the cars and/or impervious surface to reduce the effect on the local microclimate.

Trees per the above specifications have been illustrated on the revised site plan, to shade an estimated 43% of the parking per this standard.

Affirmative finding.

All parking areas shall provide a physical separation between moving and parked vehicles and pedestrians in a manner that minimizes conflicts and gives pedestrians a safe and unobstructed route to building entrance(s) or a public sidewalk.

Walkways are provided between the parking area, the building and the public sidewalk.

Affirmative finding.

Where bicycle parking is provided, access shall be provided along vehicular driveways or separate paths, with clearly marked signs indicating the location of parking areas. Where bicycle parking is located proximate to a building entrance, all shared walkways shall be of sufficient width to separate bicycles and pedestrians, and be clearly marked to avoid conflicts. All bicycle parking areas shall link directly to a pedestrian route to a building entrance. All bicycle parking shall be in conformance with applicable design & construction details as provided by the dept. of public works.

Bicycle parking requirements and location were approved in the original review.

No change to original approval for bicycle parking.

(m) Landscaping and Fences:

Site plans show the edge of an existing tree line on the easterly side of the site. New landscaping was approved for the southerly boundary in the original review and approval. An existing garden fence

has been approved for removal. The approved retaining wall for the easterly property line has been removed in the amended application; a retaining wall for the re-configured central walkway has been altered. A third retaining wall included in this amendment at the westerly side of the property has been withdrawn from consideration by the applicant.

Affirmative finding as conditioned.

(n) Public Plazas and Open Space:

There are no public plazas on site.

Not applicable.

(o) Outdoor Lighting:

Where exterior lighting is proposed the applicant shall meet the lighting performance standards as per Sec 5.5.2.

The lighting plan must reflect conformance with levels specified in the CDO, particularly in regard to walkways and parking lot lighting. Any changes to the lighting plan approved in the original review must be defined, and reviewed by staff for appropriateness. A revised lighting plan with specific reductions in footcandle measurements, if necessary, will be required prior to review by the DRB.

Affirmative finding as conditioned.

(p) Integrate infrastructure into the design:

Significant upgrading in the stormwater infrastructure is included within this amended application. As the owner/applicant proposes these improvements to benefit not only this parcel but all water running across this lot, a substantial benefit may be realized by the city in general.

Affirmative finding.

Article 8: Parking

Table 8.1.8-1 Minimum Off-Street Parking Requirements

Multi-unit attached dwelling units require 2 per dwelling unit. For 9 units, 18 parking spaces are required. 23 are illustrated on the amended site plan.

Sec. 8.1.9 Maximum Parking Spaces

The total number of parking spaces provided in all parking districts shall not be more than 125% of the minimum number of spaces required for the Neighborhood Parking District for any given use as required in Table 9.1.9-1.

$1.25 \times 18 = 22.5$, or 23 spaces. 23 spaces are illustrated on the amended site plan. **Affirmative finding.**

II. Conditions of Approval

1. All conditions included within the original approval for 11-0086 CA/MA shall remain in effect unless otherwise modified within this approval.
2. **Prior to release of the zoning permit**, any changes to originally approved lighting shall be submitted to staff for review and approval. Information shall reflect conformance to Sec. 5.5.2 and Sec. 6.2.2. (o)
3. All new parking areas and dumpster pad shall meet the required minimum setback of 5'. Any change in the dumpster enclosure from the original approval shall be submitted to staff for review and approval.

4. Erosion Prevention and Sediment Control Plan Condition: At all times after the initiation of land disturbance, this project must comply with the Chapter 26: Erosion Prevention and Sediment Control conditions of approval. Verification of compliance with these conditions must be obtained from the DPW Stormwater Program prior to the issuance of a Final CO.
5. Stormwater Management Condition: This project and property must comply with the Chapter 26: Stormwater Management Plan conditions of approval, including any on-going requirements for post-construction operation and maintenance. Verification of compliance with the conditions must be obtained from the DPW Stormwater Program prior to the issuance of a Final CO.
6. Any condition recommended by the Conservation Board and Stormwater Administrator shall be incorporated as conditions of approval herein.
7. Additional information is requested to the proposed height and material of the relocated central retaining walls **prior to release of the zoning permit.**
8. All parking spaces must meet minimum dimensional standards as defined by Table 8.1.11-1 of the CDO. Parallel parking spaces must meet 9' x 22' dimensional standard; parking spaces measuring 8' x 20' must be noted for compact cars only. Compact car spaces, if included, are limited to 15% of the total required parking.

NOTE: These are staff comments only. The Development Review Board, who may approve, table, modify, or deny projects, makes decisions.

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Existing Site Data:

Zone: RH High Density
Lot Size: 34,130 s.f. (0.78 acre)
Existing Coverage: Building: 4,919 s.f.
Parking/Drives/Walks: 7,150 s.f.
Total Lot Coverage: 35.4% 12,069 s.f.
Parking Spaces: 10

GENERAL NOTES

1. Utilities shown do not purport to constitute or represent all utilities located upon or adjacent to the surveyed premises. Existing utility locations are approximate only. The Contractor shall field verify all utility conflicts. All discrepancies shall be reported to the Engineer. The Contractor shall contact Dig Safe (888-344-7233) prior to any construction.
2. Property line information is approximate and based on existing tax map information. This plan is not a boundary survey and is not intended to be used as one.
3. The project benchmark, is a fire hydrant east of the project location on the north side of College Street. Vertical datum based on a the City of Burlington sewer maps. Horizontal datum based on a magnetic reading taken at the time of survey.

SITE ENGINEER:



CIVIL ENGINEERING ASSOCIATES, INC.
10 MAHFIELD VIEW LANE, SOUTH BURLINGTON, VT 05403
802-864-2232 FAX: 802-864-2271 web: www.ceavt.com

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DRAWN

JDL

CHECKED

PBS

APPROVED

PBS

OWNER:

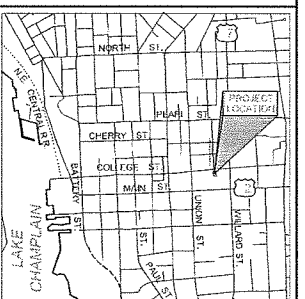
323 COLLEGE ST.
PARTNERSHIP

168 SUMMIT STREET
BURLINGTON, VERMONT

PROJECT:

NEW
RESIDENTIAL
ADDITION
REVISED SITE PLAN

325 COLLEGE STREET
BURLINGTON, VERMONT



LOCATION MAP

1" = 400'

DATE CHECKED REVISION

DATE	CHECKED	REVISION

EXISTING
CONDITIONS
SITE PLAN

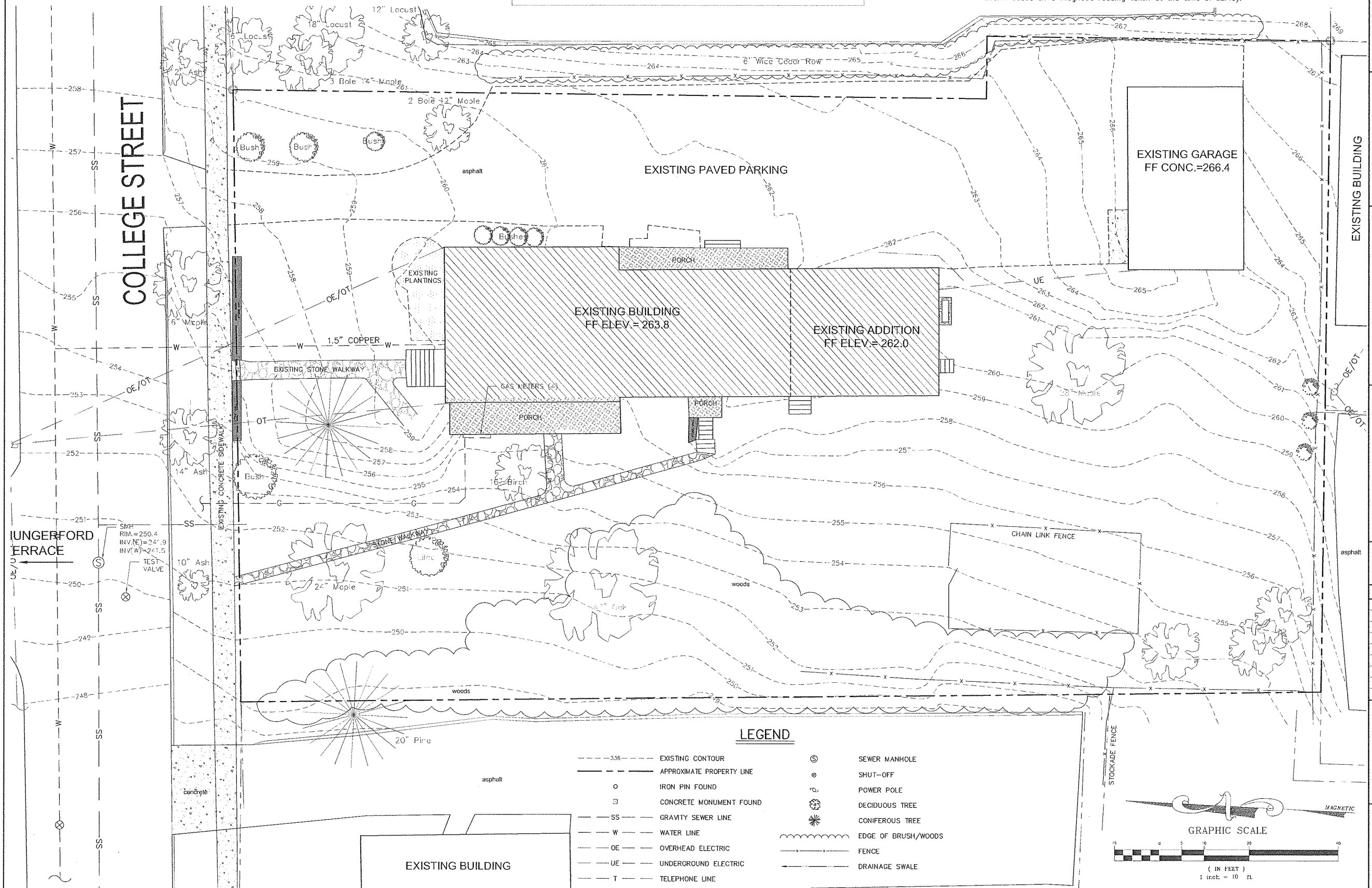
DATE
SEPT., 2010

SCALE
1" = 10'

PROJ. NO.
10192

DRAWING NUMBER

C1.0



Proposed Site Data:

Zone: RH High Density
Lot Size: 34,130 s.f. (0.78 ac) Width: 140', Depth: 240'
Allowable Lot Coverage: 80%
Proposed Lot Coverage: Existing Building: 3,865 s.f.
Proposed Building: 3,024 s.f.
Parking/Drives/Walks: 15,945 s.f.
Total Lot Coverage: 66.9% 22,834 s.f.

Setbacks: Front: Allowed = Avg. of Exist. 2 Adj.
Proposed: Existing is 60' (unchanged)
Addition is set back from the existing facade
Side 10% = 14' Req'd, Proposed = 36'(E), 25' (W)
Rear 25% = 60' Req'd, Proposed = 74'
Parking = 5' Req'd, Proposed = 5'

Parking: Neighborhood
9 Units @ 2 Space Req'd per Unit = 18 Req'd
Max Allowable = 125% or 23 Spaces
23 Spaces Proposed

GENERAL NOTES

1. Utilities shown do not purport to constitute or represent all utilities located upon or adjacent to the surveyed premises. Existing utility locations are approximate only. The Contractor shall field verify all utility conflicts. All discrepancies shall be reported to the Engineer. The Contractor shall contact Dig Safe (888-344-7233) prior to any construction.
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SITE ENGINEER:



CIVIL ENGINEERING ASSOCIATES, INC.
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802-884-2223 FAX 802-884-2271 web: www.cea-vt.com

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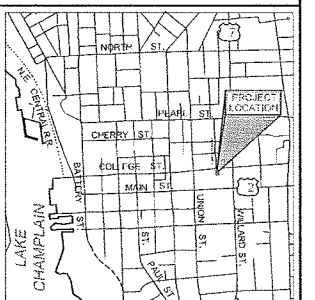
OWNER:

323 COLLEGE ST.
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NEW
RESIDENTIAL
ADDITION
REVISED SITE PLAN

325 COLLEGE STREET
BURLINGTON, VERMONT



LOCATION MAP

1" = 400'

DATE	CHECKED	REVISION
2/4/11	AC/PBS	NEW SITE PLAN
3/4/11	AC/PBS	UPDATED STORM SYSTEM ADD NEW WATER AND SEWER
5/9/11	AC/PBS	REVISED PARKING LOT AND SIDEWALKS RELOCATED DUMPSTER DRB SUBMITTAL
6/14/11	JDL/PBS	EAST DRIVEWAY TO 14' WIDE. ADDED SIDEWALKS

PROPOSED
CONDITIONS
SITE PLAN

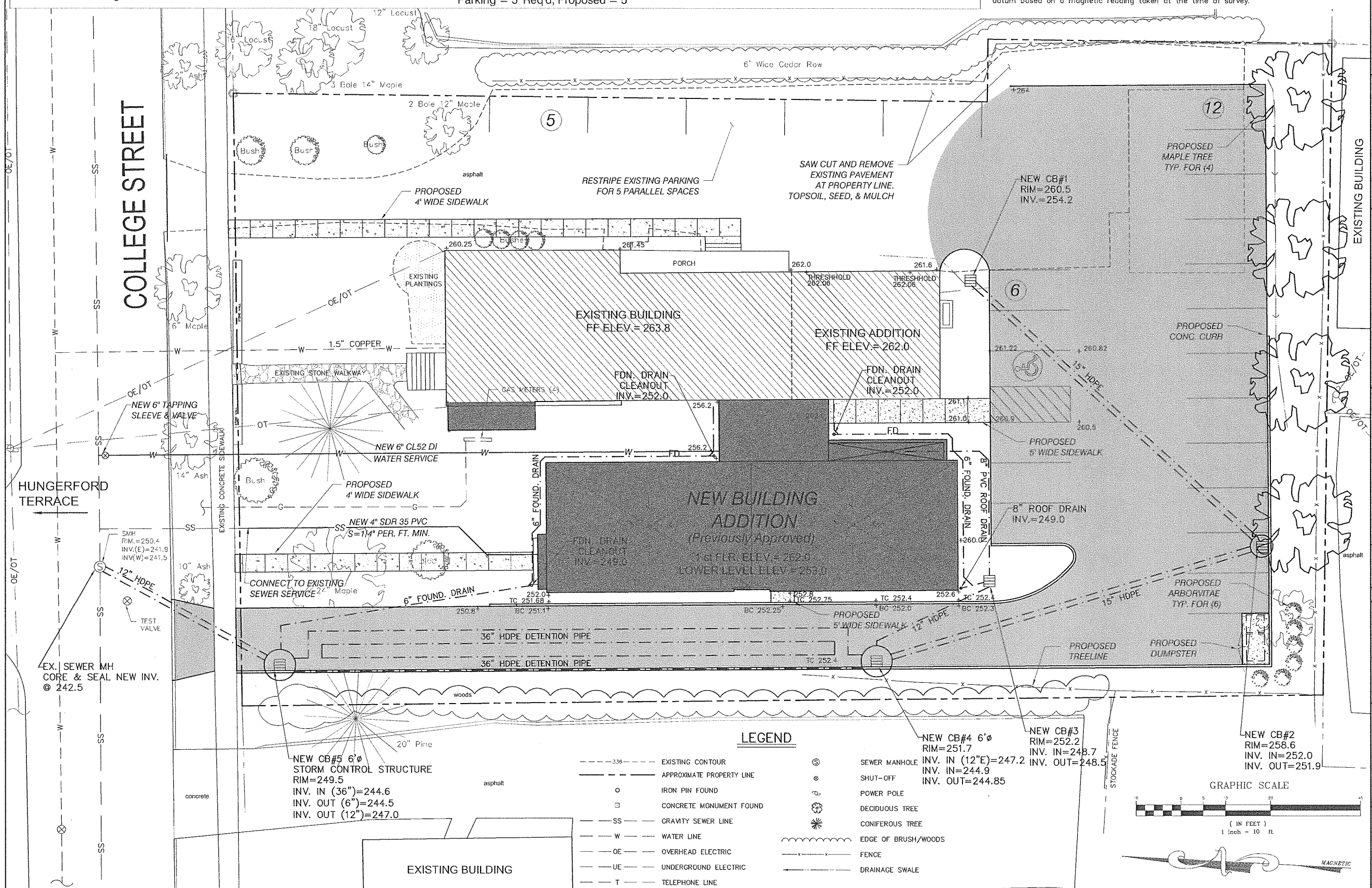
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SEPT., 2010

SCALE:
1" = 10'

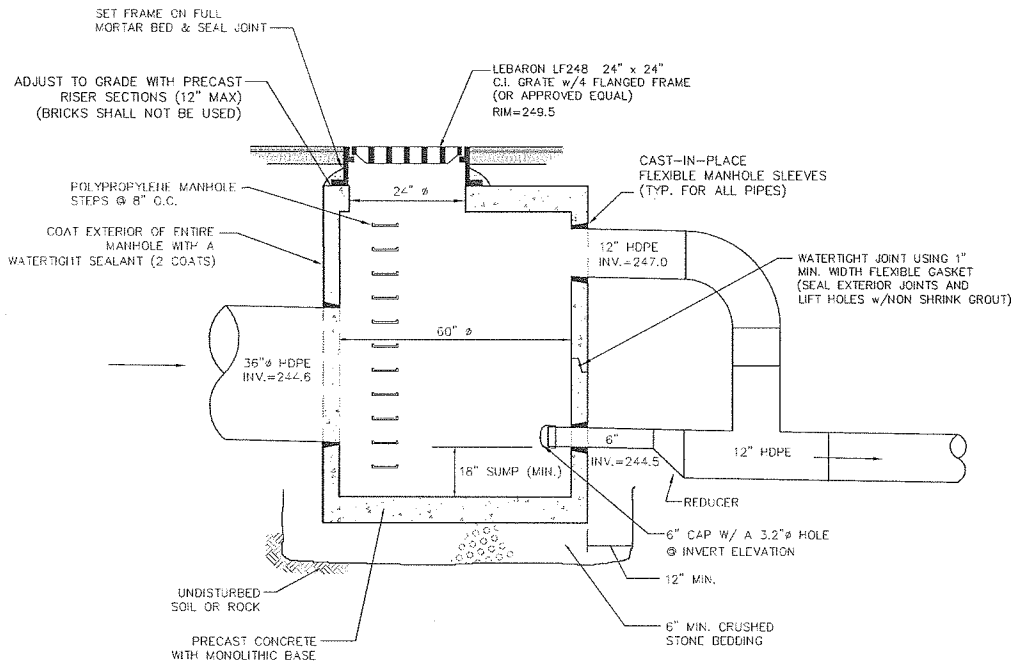
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10192

DRAWING NUMBER

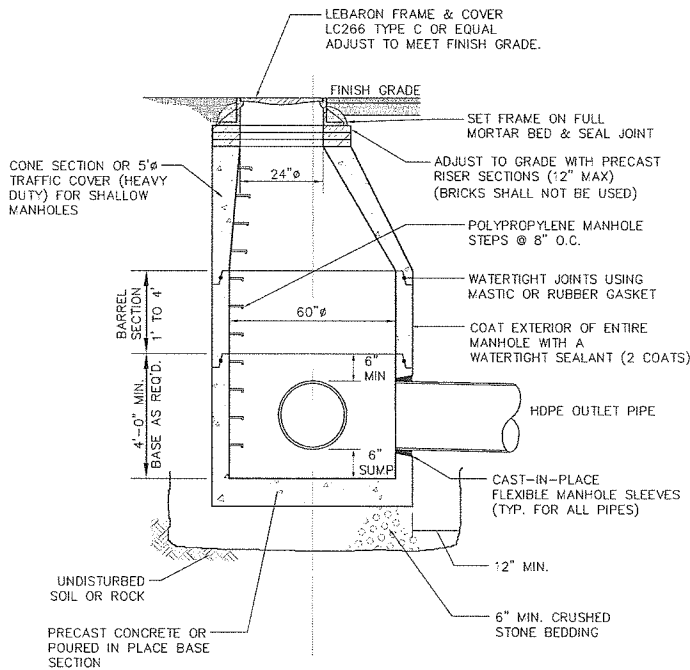
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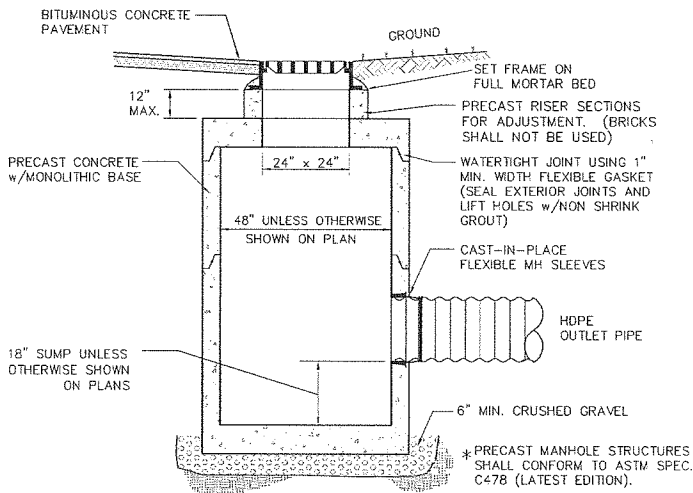
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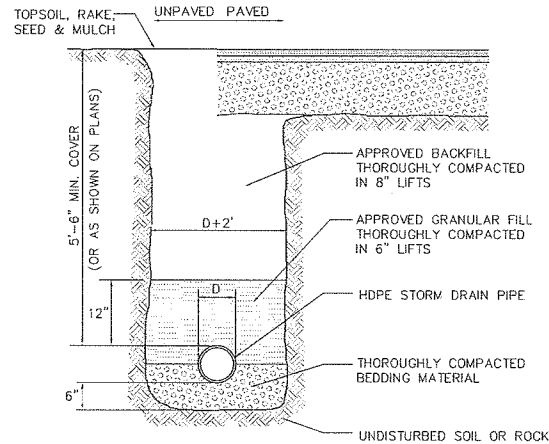
STORM CONTROL STRUCTURE
N.T.S.



TYPICAL STORM MANHOLE
N.T.S.



TYPICAL CATCH BASIN
N.T.S.



TYPICAL STORM TRENCH DETAIL
N.T.S.

NOTES:

1. Compaction of backfill and bedding shall be a minimum of 90% (95% under roadway surfaces) of maximum dry density determined in the standard proctor test (ASTM D698).
2. Bedding material shall not be placed on frozen subgrade.
3. Approved backfill shall not contain any stones more than 12" in largest dimension (6" in roadways, 2" maximum diameter within 2' of the outside of the pipe), or contain any frozen, wet, or organic material.
4. Trenches shall be completely dewatered prior to placing of pipe bedding material and kept dewatered during installation of pipe and backfill.
5. In trenches with unstable materials, trench bottom shall first be stabilized by placement of filter fabric then crushed stone (3/4" maximum).
6. The sides of trenches 4' or more in depth entered by personnel shall be sheeted or sloped to the angle of repose as defined by O.S.H.A. standards.
7. Bedding material shall consist of crushed stone, gravel or sand with a maximum size of 3/4". Submit a sample to the Engineer for approval.

SITE ENGINEER:



CIVIL ENGINEERING ASSOCIATES, INC.
10 MANSFIELD VIEW LANE, SOUTH BURLINGTON, VT 05403
802-864-2223 FAX: 802-864-2271 web: www.cenad.com

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DRAWN

JDL

CHECKED

PBS

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PBS

OWNER:

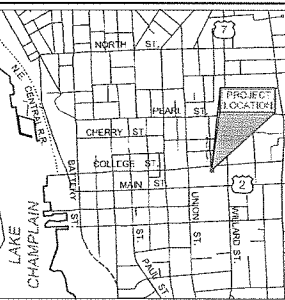
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PROJECT:

NEW
RESIDENTIAL
ADDITION

REVISED SITE PLAN

325 COLLEGE STREET
BURLINGTON, VERMONT



LOCATION MAP

1" = 400'

DATE	CHECKED	REVISION
5/9/11	PBS	RETAINING WALL DETAIL-CRB SUBMITTAL
6/14/11	PBS	REMOVE RETAINING WALL DETAIL

SITE DETAILS

DATE:
SEPT. 29, 2010
SCALE:
AS SHOWN
PROJ. NO.
10192

DRAWING NUMBER

C2.0